



DEVELOPMENT PERMIT NO. DP001238

RUSSELL MCMANN BUILDERS GROUP INC

Owner(s) of Land (Permittee)

2545 DOCTORS ROAD

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**PARCEL NO 1 (DD 18002N) OF PARCEL F (DD 11834N) OF SECTION 20,
RANGE 8, MOUNTAIN DISTRICT**

PID No. 009-456-503

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site Plan
Schedule C Building Elevations
Schedule D Retaining Wall Cross Sections
Schedule E Parking Plans
Schedule F Landscape Plan and Details
Schedule G Lighting Plan

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

PERMIT TERMS

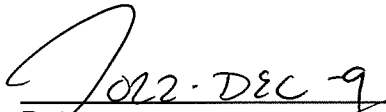
The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:


1. *Subsection 17.2.1 General Regulations* – to reduce the minimum required landscape buffer width for a portion of the south side lot line as proposed from 1.8m to 1.0m.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site Plan, prepared by Ocean Mist Development Corp., dated 2022-NOV-04, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Parking Plans, prepared by Ocean Mist Development Corp., dated 2022-AUG-05, as shown on Schedules C and E.
3. The subject property shall be developed in substantial compliance with the Retaining Wall Cross Section prepared by Ocean Mist Developments Corp., dated 2022-AUG-05, as shown on Schedule D.
4. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Climate Landscape & Design, dated 2022-NOV-04, as shown on Schedule F.
5. Site lighting shall be provided in substantial compliance with the Site Plan, prepared by Ocean Mist Development Corp., dated 2022-NOV-04, as shown on Schedule B and the Lighting Plan prepared by Climate Landscape & Design, dated 2022-NOV-04, as shown on Schedule G.

REVIEWED AND APPROVED ON

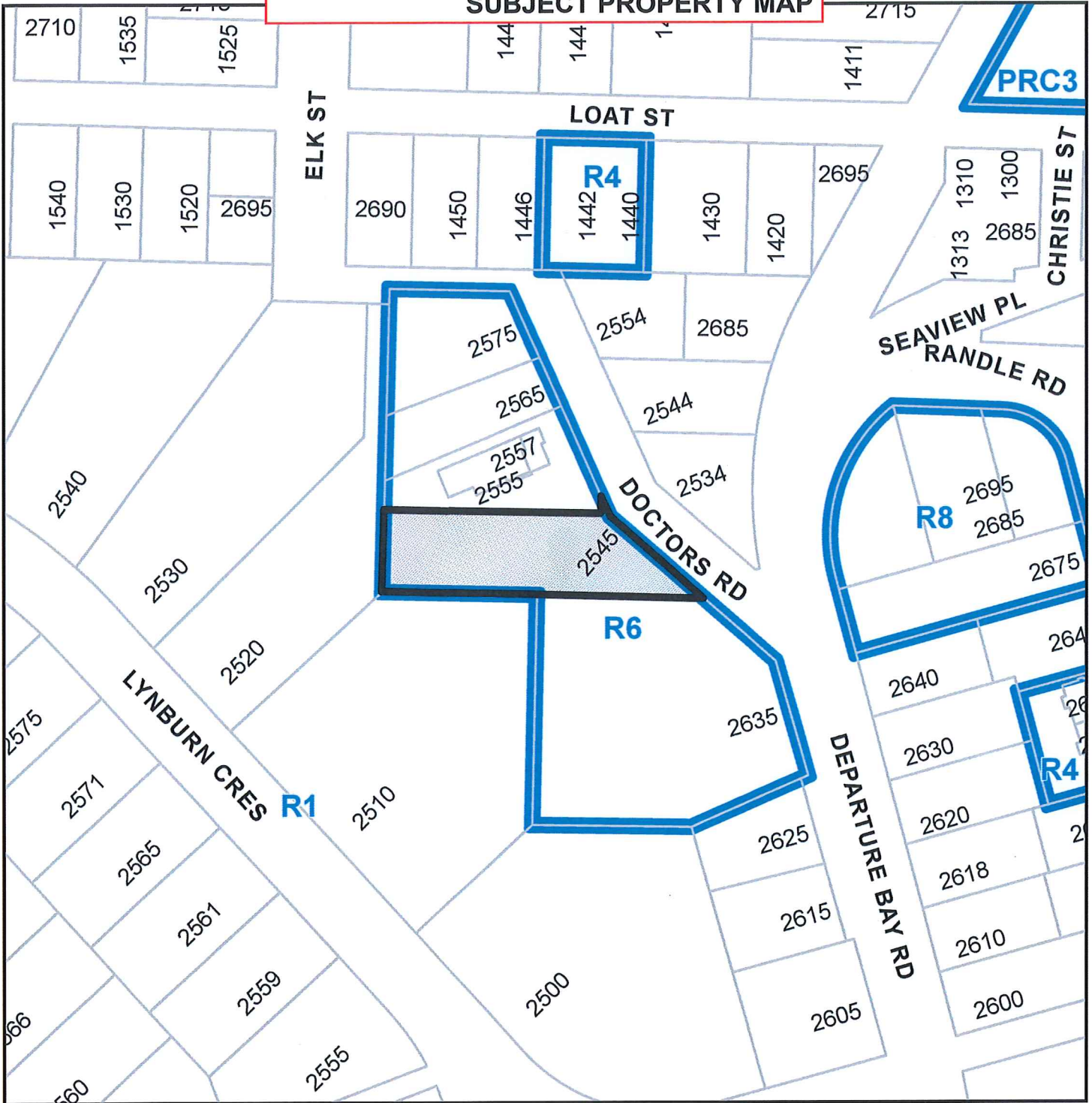

Date 2022-DEC-9


D. Lindsay, General Manager of Development Services
Community Development
Pursuant to Section 154 (1)(b) of the Community Charter

KM/In/
Prospero attachment: DP001238

Development Permit No. DP001238 Schedule A
2545 Doctors Road

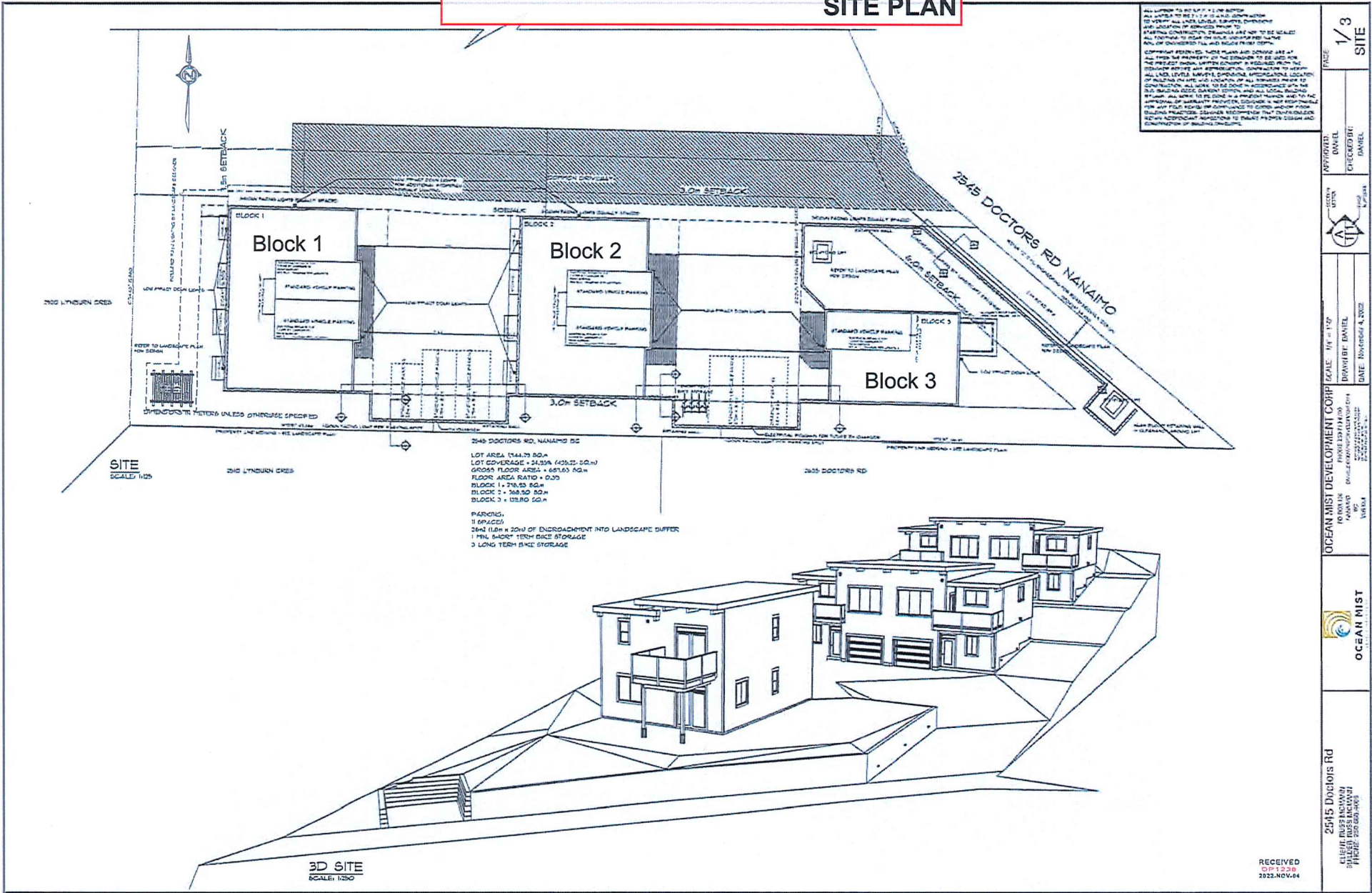
SUBJECT PROPERTY MAP



DEVELOPMENT PERMIT APPLICATION NO. DP001238

 2545 DOCTORS ROAD

SITE PLAN



ALL WORK TO BE SHOWN ON THIS SITE PLAN SHALL BE IN ACCORDANCE WITH THE BC BUILDING ACT AND ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ALL APPLICABLE AGENCIES.

DATE: 2022.06.24	SCALE: 1/32" = 1'-0"	PROJECT: 2545 DOCTORS RD	DATE: 2022.06.24, 2022	DATE: 2022.06.24, 2022	1/3 SITE
DESIGNED BY: DANIEL BROWNE	DRAWN BY: DANIEL BROWNE	CHECKED BY: DANIEL BROWNE	DATE: 2022.06.24, 2022	DATE: 2022.06.24, 2022	
PROJECT: 2545 DOCTORS RD	SCALE: 1/32" = 1'-0"	PROJECT: 2545 DOCTORS RD	DATE: 2022.06.24, 2022	DATE: 2022.06.24, 2022	
DESIGNED BY: DANIEL BROWNE	DRAWN BY: DANIEL BROWNE	CHECKED BY: DANIEL BROWNE	DATE: 2022.06.24, 2022	DATE: 2022.06.24, 2022	
PROJECT: 2545 DOCTORS RD	SCALE: 1/32" = 1'-0"	PROJECT: 2545 DOCTORS RD	DATE: 2022.06.24, 2022	DATE: 2022.06.24, 2022	
DESIGNED BY: DANIEL BROWNE	DRAWN BY: DANIEL BROWNE	CHECKED BY: DANIEL BROWNE	DATE: 2022.06.24, 2022	DATE: 2022.06.24, 2022	

RECEIVED
 DP 1238
 2022.06.04

Development Permit No. DP001238 Schedule C
2545 Doctors Road

BUILDING ELEVATIONS

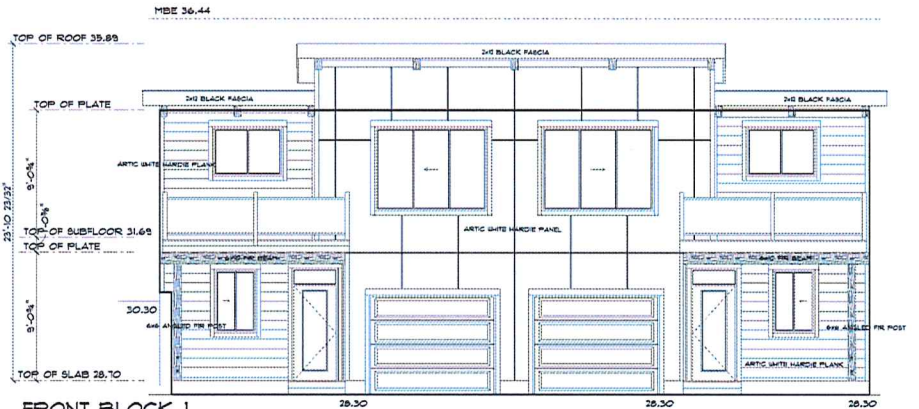
EXTERIOR FINISHING SCHEDULE	
10	NOTE
1	ARCTIC WHITE HARDIE BOARD W/ 1/4" WOOD BATTENS
2	ARCTIC WHITE 8 1/4" HARDIE PLANK SIGNS
3	ARCTIC WHITE HARDIE BOARD W/ METAL CHANNEL
4	2x12 WOOD FASCIA PAINTED BLACK
5	2x13 WOOD TRIM PAINTED BLACK
6	2x4 WOOD CORNER TRIM PAINTED BLACK
7	WINDOWS/DOOR: 2x6 HEAD TRIM W/ 2x4 SILL & BOTTOM TRIM PAINTED BLACK
8	FOR NECCENT TIMBERS W/ NATURAL FINISH

ALL LUMBER TO BE S.P.F. #1 OR BETTER
ALL LINTLS TO BE 2" X 10 U.S.O. CONSTRUCTION
TO VERIFY ALL LINE LEVELS, SERVICE, DIMENSIONS
AND LOCATION OF SERVICES PRIOR TO
STARTING CONSTRUCTION. CHANGES ARE NOT TO BE SCALE.
ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE
SOIL OR ENGINEERED FILL AND BELLY PROTECT DEPTH.

COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AT
ALL TIMES THE PROPERTY OF THE DESIGNER TO BE USED FOR
THE PROJECT SHOWN. WRITTEN CONSENT IS REQUIRED FROM THE
DESIGNER BEFORE ANY REPRODUCTION. CONTRACTOR TO VERIFY
ALL LINE LEVELS, SERVICE, DIMENSIONS, SPECIFICATIONS, LOCATION
OF BELLYING ON THE AND LOCATION OF ALL SERVICES PRIOR TO
CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE
B.C. BUILDING CODE CURRENT EDITION AND ALL LOCAL BUILDING
BY-LAWS. ALL WORK TO BE DONE IN A PRUDENT MANNER AND TO THE
APPROVAL OF SANITARY PROTECTIVE DEPARTMENT IS NOT RESPONSIBLE
FOR ANY FIELD REVIEW OR COMPLIANCE TO CODES AND/OR FROM
BUILDING PRACTICES. DESIGNER RECOMMENDS THAT OWNER/OWNER
RETAIN INDEPENDANT INSPECTIONS TO ENSURE PROPER DESIGN AND
CONSTRUCTION OF BUILDING ENVELOPE.

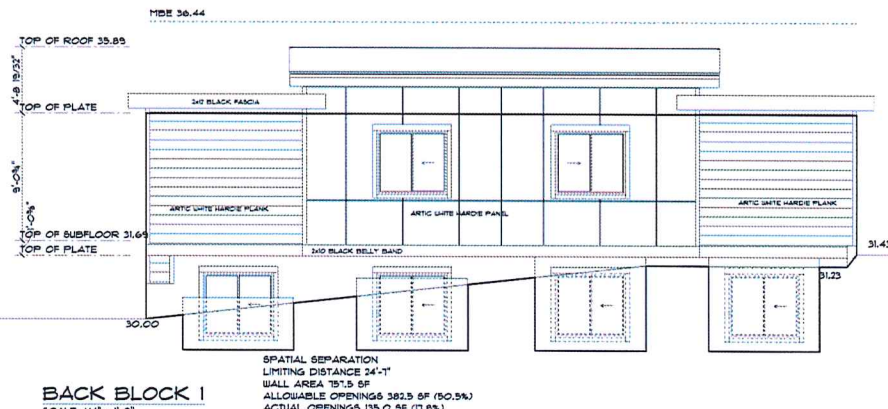
PAGE: 2/4
BLOCK 1

APPROVED: DANIEL
CHECKED BY: DANIEL



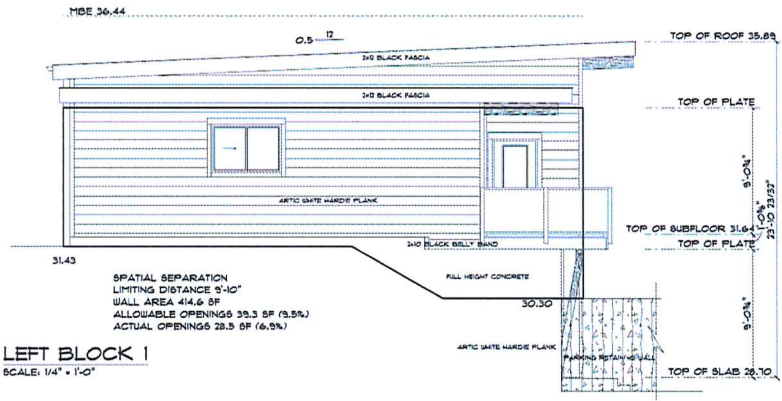
FRONT BLOCK 1
SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION
LIMITING DISTANCE 20'-10"
WALL AREA 1011.3 SF
ALLOWABLE OPENINGS 388.3 SF (38.4%)
ACTUAL OPENINGS 180.4 SF (17.8%)



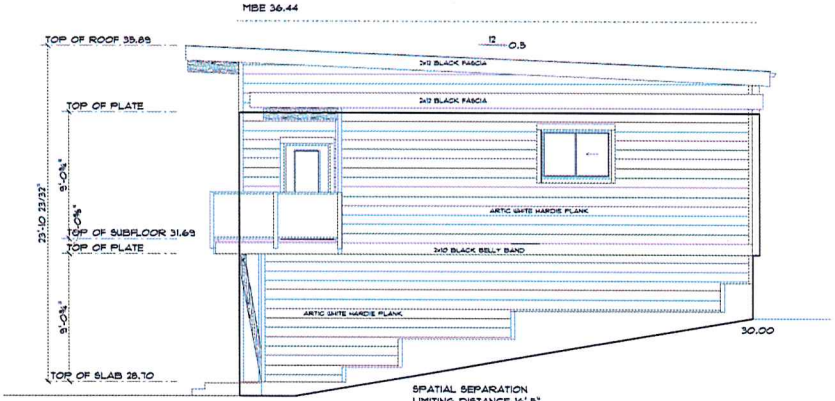
BACK BLOCK 1
SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION
LIMITING DISTANCE 24'-11"
WALL AREA 787.5 SF
ALLOWABLE OPENINGS 382.5 SF (50.5%)
ACTUAL OPENINGS 135.0 SF (17.8%)



LEFT BLOCK 1
SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION
LIMITING DISTANCE 9'-10"
WALL AREA 414.6 SF
ALLOWABLE OPENINGS 38.3 SF (9.5%)
ACTUAL OPENINGS 28.5 SF (6.9%)



RIGHT BLOCK 1
SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION
LIMITING DISTANCE 16'-9"
WALL AREA 648.3 SF
ALLOWABLE OPENINGS 168.8 SF (26.0%)
ACTUAL OPENINGS 28.5 SF (4.4%)



SCALE: 1/4" = 1'-0"
DRAWN BY: DANIEL
DATE: August 6, 2022

OCEAN MIST DEVELOPMENT CORP
PHONE: 250-713-8700
CLIENT: OCEAN MIST DEVELOPMENT CORP
PROJECT: 2545 DOCTORS ROAD
V18154

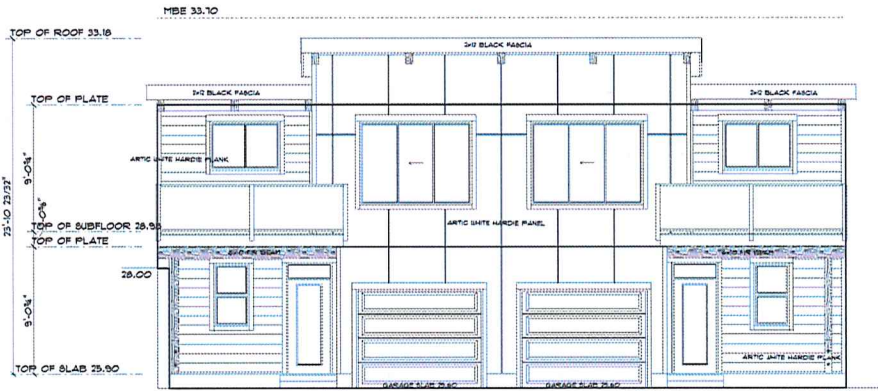


2545 Doctors Rd
BUILDER: RUSS MCMANN
PHONE: 250-688-9088

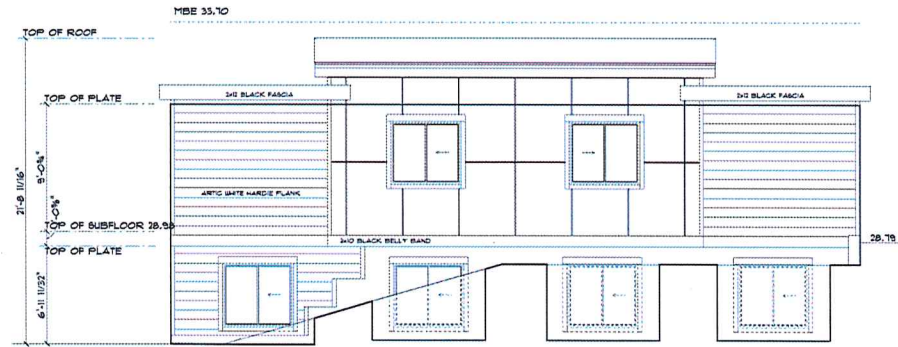
RECEIVED
DP 1238
2022-AUG-22
CLIXAR, #283613

EXTERIOR FINISHES SCHEDULE	
ID	NOTE
1	ARCTIC WHITE HARDIE BOARD W/ 1/4" WOOD BATTENS
2	ARCTIC WHITE 1/4" HARDIE PLANK SIDING
3	ARCTIC WHITE HARDIE BOARD W/ METAL CHANNEL
4	2x12 WOOD FASCIA PAINTED BLACK
5	2x10 WOOD TRIM PAINTED BLACK
6	2x4 WOOD CORNER TRIM PAINTED BLACK
7	WINDOWS/DOOR: 2x6 HEAD TRIM W/ 2x4 SILL & BOTTOM TRIM PAINTED BLACK
8	FR ACCENT TIMBERS W/ NATURAL FINISH

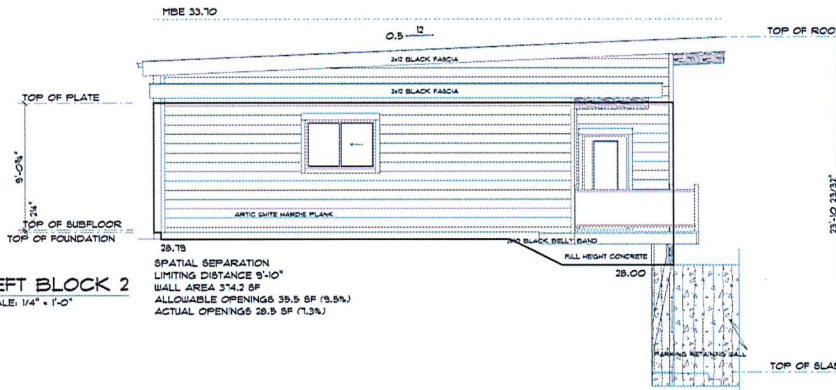
ALL LUMBER TO BE S.P.F. # 2 OR BETTER
 ALL LUMBER TO BE 2" x 4" UNLESS CONTRACTOR TO VERIFY ALL LINE LEVELS, SURVEY'S DIMENSIONS AND LOCATION OF SERVICES PRIOR TO STARTING CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.
 ALL FOOTINGS TO BEAK ON UNDESIGNED NATIVE SOIL OR ENGINEERED FILL AND BELOW FROST DEPTH.
 COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AT ALL TIMES THE PROPERTY OF THE DESIGNER TO BE USED FOR THE PROJECT SHOWN. WRITTEN CONSENT IS REQUIRED FROM THE DESIGNER BEFORE ANY REPRODUCTION. CONTRACTOR TO VERIFY ALL LINE LEVELS, SURVEY'S DIMENSIONS, SPECIFICATIONS, LOCATION OF BUILDING ON SITE, AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS. ALL WORK TO BE DONE IN A PRESENT MANNER AND TO THE APPROVAL OF LIQUORITY PROVIDER. DESIGNER IS NOT RESPONSIBLE FOR ANY FIELD REVIEW OR COMPLIANCE TO CODES AND/OR LOCAL BUILDING PRACTICES. DESIGNER RECOMMENDS THAT OWNER/BUILDER RETAIN INDEPENDENT INSPECTIONS TO ENSURE PROPER DESIGN AND CONSTRUCTION OF BUILDING ENVELOPE.



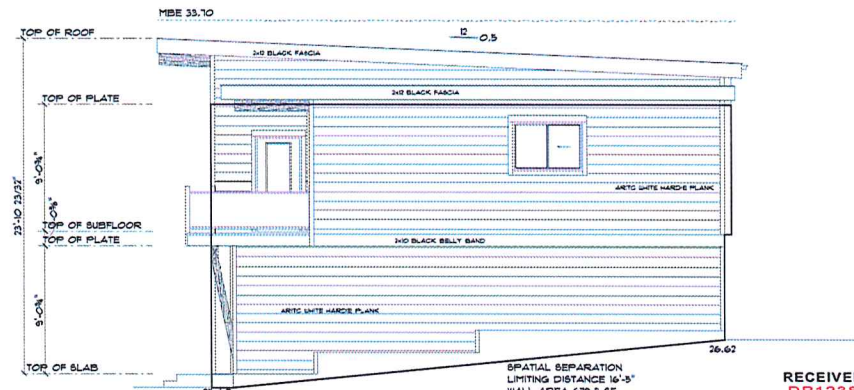
FRONT BLOCK 2
 SCALE: 1/4" = 1'-0"
 SPATIAL SEPARATION
 LIMITING DISTANCE 22'-11"
 WALL AREA 982.4 SF
 ALLOWABLE OPENINGS 442.1 SF (45.0%)
 ACTUAL OPENINGS 180.4 SF (18.4%)



BACK BLOCK 2
 SCALE: 1/4" = 1'-0"
 SPATIAL SEPARATION
 LIMITING DISTANCE 20'-10"
 WALL AREA 751.9 SF
 ALLOWABLE OPENINGS 231.0 SF (30.4%)
 ACTUAL OPENINGS 135.0 SF (18.7%)



LEFT BLOCK 2
 SCALE: 1/4" = 1'-0"
 SPATIAL SEPARATION
 LIMITING DISTANCE 9'-10"
 WALL AREA 374.2 SF
 ALLOWABLE OPENINGS 39.5 SF (10.5%)
 ACTUAL OPENINGS 28.5 SF (7.6%)

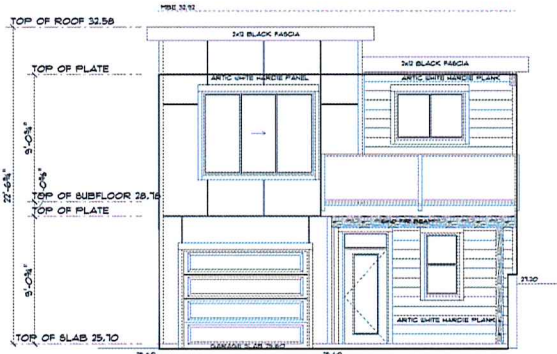


RIGHT BLOCK 2
 SCALE: 1/4" = 1'-0"
 SPATIAL SEPARATION
 LIMITING DISTANCE 16'-3"
 WALL AREA 679.3 SF
 ALLOWABLE OPENINGS 176.6 SF (26.0%)
 ACTUAL OPENINGS 28.5 SF (4.2%)

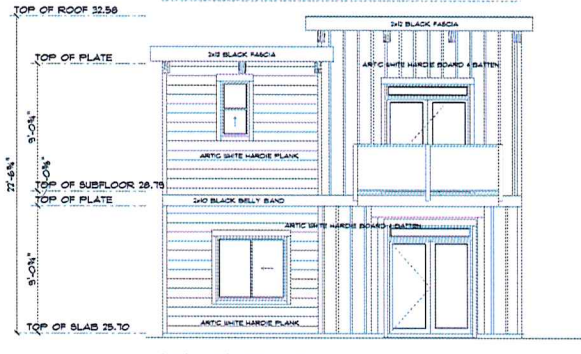
	APPROVED: DP CHECKED BY: DP
	PAGE: 2/4 BLOCK: 2
OCEAN MIST DEVELOPMENT CORP 2545 Doctors Rd Burnaby, BC V5A 1S6 PHONE: 250.713.8700 FAX: 250.713.8700 WWW.OCMIST.COM	DRAWN BY: DP DATE: August 5, 2022
	RECEIVED DP 1238 2022-AUG-22 Cutright Planning

EXTERIOR FINISHES SCHEDULE	
ID	NOTE
1	ARCTIC WHITE HARDE BOARD W/ 1/4" WOOD BATTENS
2	ARCTIC WHITE 8 1/4" HARDE PLANK SIDING
3	ARCTIC WHITE HARDE BOARD W/ METAL CHANNEL
4	2x2 WOOD FASCIA PAINTED BLACK
5	2x4 WOOD TRIM PAINTED BLACK
6	2x4 WOOD CORNER TRIM PAINTED BLACK
7	WINDOWS/DOOR: 2x6 HEAD TRIM W/ 2x4 SID & BOTTOM TRIM PAINTED BLACK
8	TRIM ACCENT TIMBERS W/ NATURAL FINISH

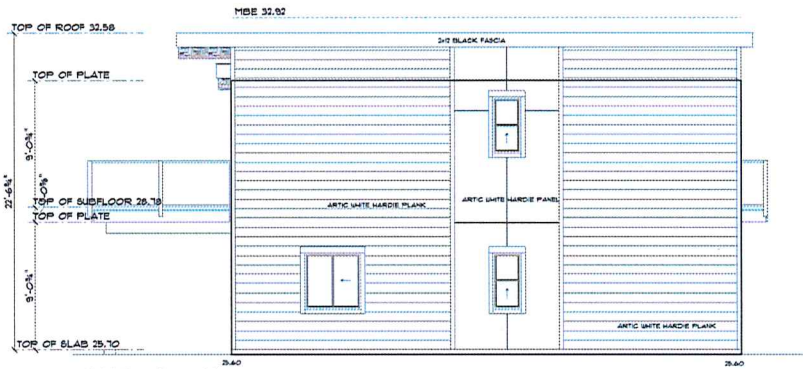
ALL LUMBER TO BE S.P.F., #1 OR BETTER
 ALL LINES TO BE 3/4" O.D. CONDUITS
 TO VERIFY ALL LEVELS, SURVEY, DIMENSIONS
 AND LOCATION OF SERVICES PRIOR TO
 STARTING CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.
 ALL FOOTINGS TO BEAR ON SOLID UNOBSERVED MATING
 SOIL OR ENGINEERED FILL AND BELOW FROST DEPTH.
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 DESIGNER BEFORE ANY REPRODUCTION. CONTRACTOR TO VERIFY
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 BYLAW. ALL WORK TO BE DONE IN A PRUDENT MANNER AND TO THE
 APPROVAL OF A LICENSED PROFESSIONAL ENGINEER IS NOT RESPONSIBLE
 FOR ANY FIELD REVIEW OR COMPLIANCE TO CODES AND/OR POOR
 BUILDING PRACTICES. DESIGNER RECOMMENDS THAT OWNER/BUILDER
 RETAIN INDEPENDANT INSPECTIONS TO ENSURE PROPER DESIGN AND
 CONSTRUCTION OF BUILDING ENVELOPE.



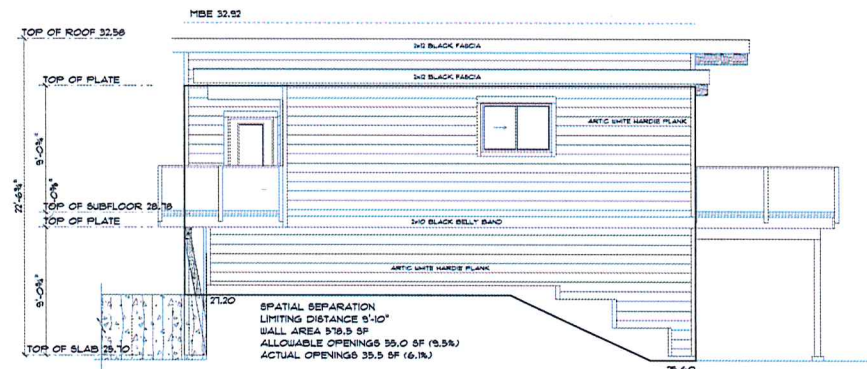
FRONT BLOCK 3
 SCALE: 1/4" = 1'-0"
 SPATIAL SEPARATION
 LIMITING DISTANCE 22'-11"
 WALL AREA 489.7 SF
 ALLOWABLE OPENINGS 234.8 SF (48.0%)
 ACTUAL OPENINGS 90.2 SF (18.4%)



BACK BLOCK 3
 SCALE: 1/4" = 1'-0"



LEFT BLOCK 3
 SCALE: 1/4" = 1'-0"
 SPATIAL SEPARATION
 LIMITING DISTANCE 41'-11"
 WALL AREA 101.3 SF
 ALLOWABLE OPENINGS 101.3 SF (100.0%)
 ACTUAL OPENINGS 32.0 SF (4.5%)

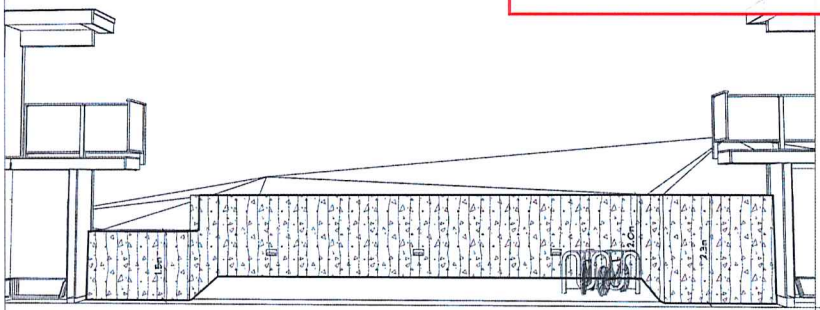


RIGHT BLOCK 3
 SCALE: 1/4" = 1'-0"
 SPATIAL SEPARATION
 LIMITING DISTANCE 9'-10"
 WALL AREA 579.5 SF
 ALLOWABLE OPENINGS 35.0 SF (6.1%)
 ACTUAL OPENINGS 35.0 SF (6.1%)

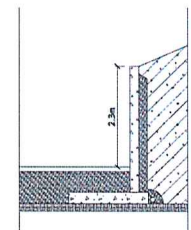
SECTION LETTER	2/4	BLOCK 3
APPROVED:	DANIEL	CHECKED BY: DANIEL
OCEAN MIST DEVELOPMENT CORP SCALE: 1/4" = 1'-0" DRAWN BY: DANIEL DATE: August 5, 2022 PO BOX 1238 HAWAII 96764		
RECEIVED DP1238 2022-AUG-22 Coastal Planning		

Development Permit No. DP001238 Schedule D
 2545 Doctors Road
RETAINING WALL CROSS SECTIONS

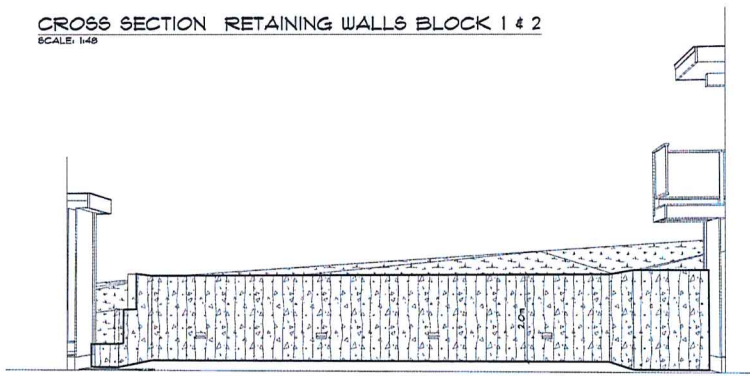
ALL LINES TO BE 8 X 8 X 1/2 OR BETTER
 ALL LINES TO BE 2-1/2 X 1/8 L.S.D. CONTRACTOR
 TO VERIFY ALL LINES, LEVELS, SURVEY'S, DIMENSIONS
 AND LOCATION OF SERVICES PRIOR TO
 STARTING CONSTRUCTION; DRAWINGS ARE NOT TO BE SCALED.
 ALL FOOTINGS TO BE ON SOLID UNDISTURBED NATIVE
 SOIL OR ENGINEERED FILL AND BELOW FROST DEPTH.
 COPYRIGHT RESERVED. THESE PLANS AND DESIGN ARE AT
 ALL TIMES THE PROPERTY OF THE DESIGNER TO BE USED FOR
 THE PROJECT SHOWN. WRITTEN CONSENT IS REQUIRED FROM THE
 DESIGNER BEFORE ANY REPRODUCTION, COPIATION TO VERIFY
 ALL LINES, LEVELS, SURVEY'S, DIMENSIONS, SPECIFICATIONS, LOCATION
 OF BUILDING ON SITE, AND LOCATION OF ALL SERVICES PRIOR TO
 CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE
 B.C. BUILDING CODE, CURRENT EDITION, AND ALL LOCAL BUILDING
 BYLAWS. ALL WORK TO BE DONE IN A PRESENT MANNER AND TO THE
 APPROVAL OF LIABILITY PROVIDER. DESIGNER IS NOT RESPONSIBLE
 FOR ANY FIELD REVISION OR COMPLIANCE TO CODES AND/OR LOCAL
 BUILDING PRACTICES. DESIGNER RECOMMENDS THAT CONSULTANTS
 RETAIN INDEPENDANT INSPECTORS TO ENSURE PROPER DESIGN AND
 CONSTRUCTION OF BUILDING ENVELOPE.



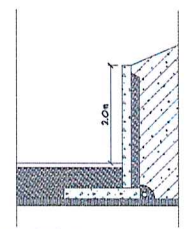
SECTION A
CROSS SECTION RETAINING WALLS BLOCK 1 & 2
 SCALE: 1:48



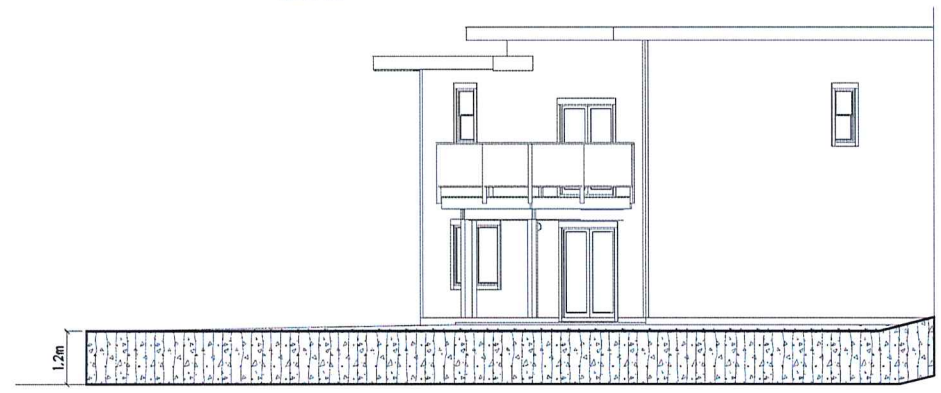
SECTION C



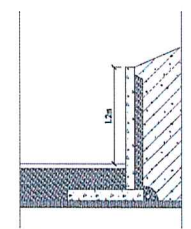
SECTION B
CROSS SECTION RETAINING WALLS BLOCK 2 & 3
 SCALE: 1:50



SECTION D



SECTION F
CROSS SECTION FRONT/ROAD
 SCALE: 1:50



SECTION E
CROSS SECTION RETAINING WALLS FRONT
 SCALE: 1:50

APPROVED: DANIEL
 CHECKED BY: DANIEL



SCALE: 1/4" = 1'-0"
 DRAWN BY: DANIEL
 DATE: August 10, 2022

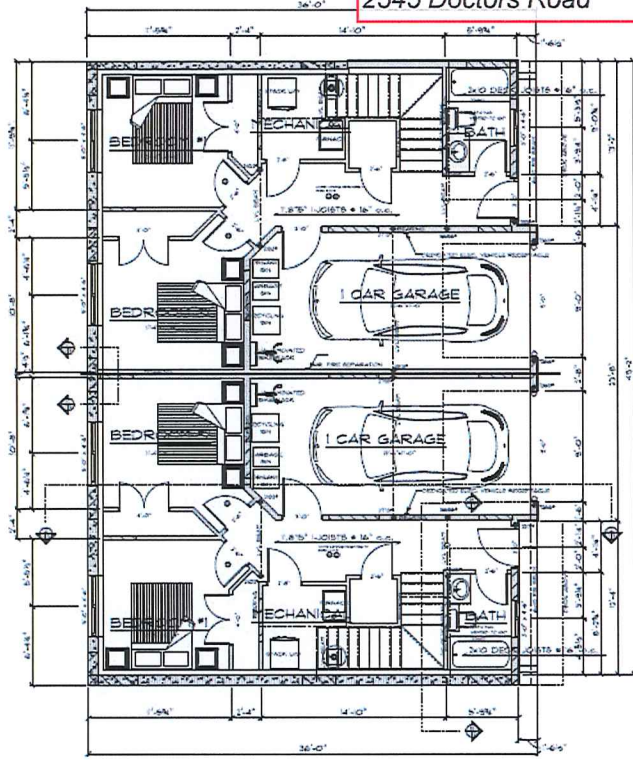
OCEAN MIST DEVELOPMENT CORP
 PO BOX 128
 NANAIMO BC V9S 6K4
 PHONE: 250-713-8700
 DANIEL@OCEANMISTDEVELOPMENT.COM
 2022-10-05 10:00 AM
 2545 DOCTORS RD



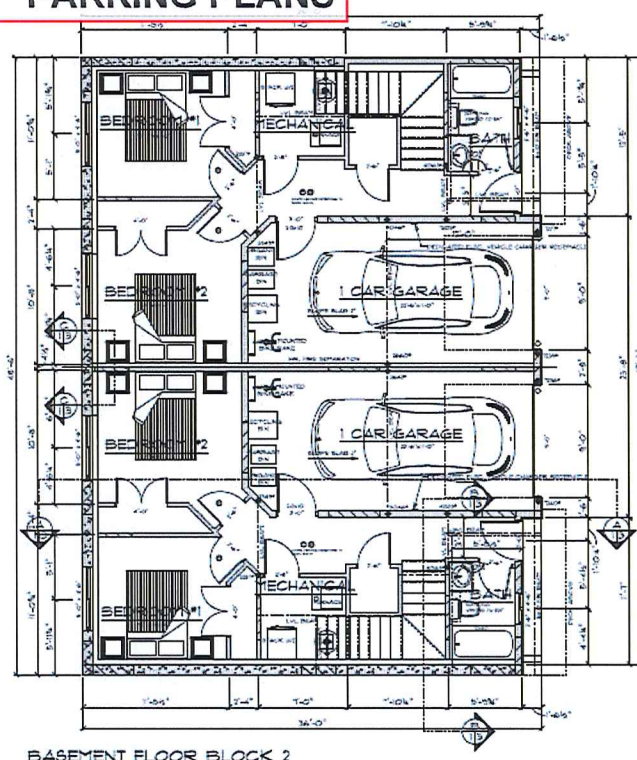
2545 Doctors Rd
 CLIENT: RUISS MCMANN
 BUILDER: RUISS MCMANN
 PHONE: 250-868-4088

RECEIVED
 DP 1238
 2022-OCT-05
 Sitcraft Planning

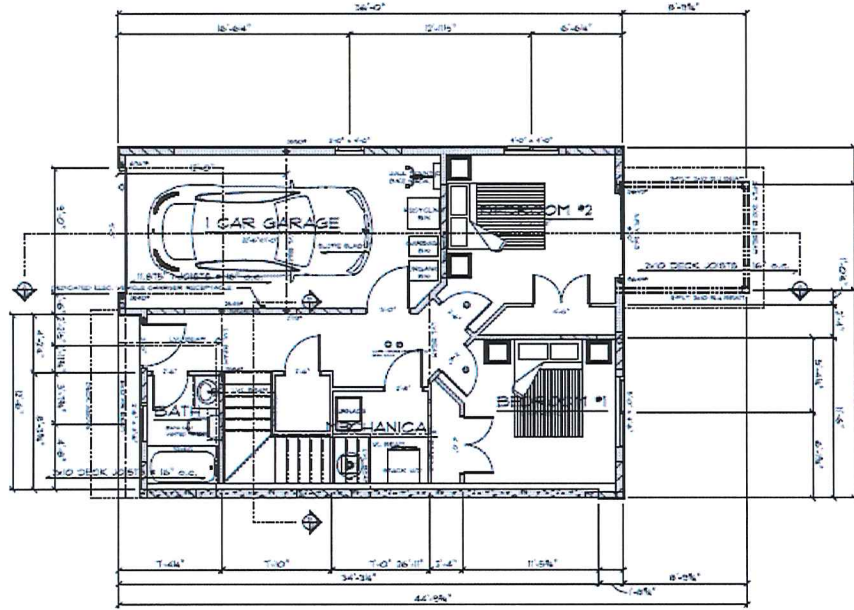
PARKING PLANS



BASEMENT FLOOR BLOCK 1
SCALE: 1/4" = 1'-0"



BASEMENT FLOOR BLOCK 2
SCALE: 1/4" = 1'-0"



BASEMENT FLOOR BLOCK 3
SCALE: 1/4" = 1'-0"

RECEIVED
DP1238
2022-AUG-22
Current Planning

APPROVED: DANIEL
CHECKED BY: DANIEL



SCALE: 1/4" = 1'-0"
DRAWN BY: DANIEL
DATE: August 5, 2022

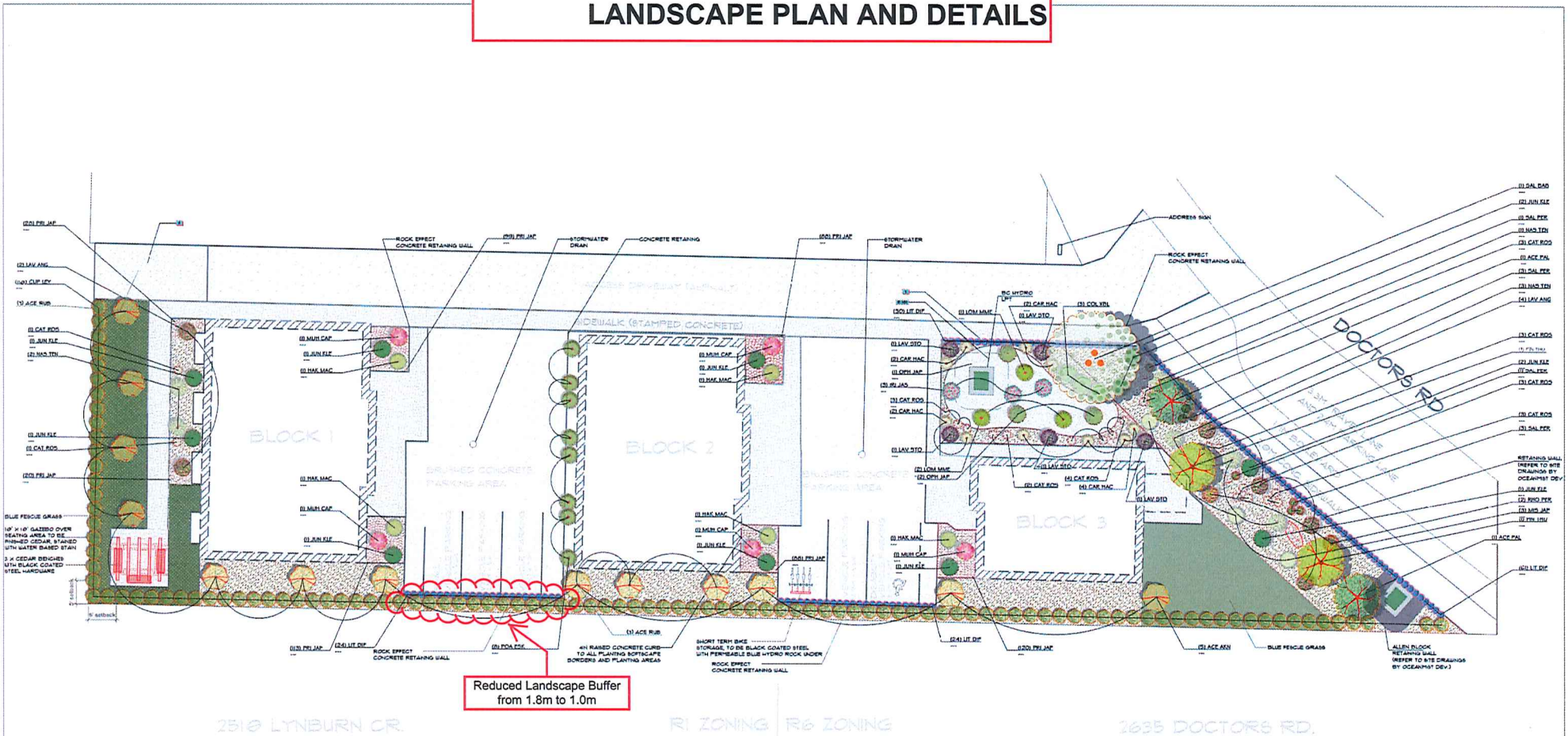
OCEAN MIST DEVELOPMENT CORP
PHONE: 250.733.9700
10416 W. BEAUMONT BLVD. UNIT 100
VANCOUVER, BC V6T 1S4



2545 Doctors Rd
CLIENT: RUSS MCMANN
BUILDER: RUSS MCMANN
PHONE: 250.688.4086

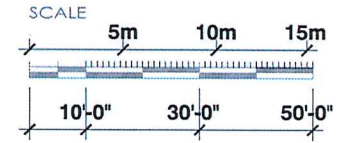
Blocks 1, 2, 3


Development Permit No. DP001238 Schedule F
 2545 Doctors Road
LANDSCAPE PLAN AND DETAILS



**Reduced Landscape Buffer
 from 1.8m to 1.0m**

CLIENT:
 McMANN HOMES
 2640 STEVE ELLIS ROAD,
 NANAIMO,
 BC, V9R 0J7



PROJECT:	2545 DOCTORS RD, NANAIMO			CLD-1033-PLT-001	001	CLD-1033	MAR 2022	 RECEIVED DP 1238 2022-NOV-04
TITLE:	LANDSCAPE PLAN			DRAWING NO.:	AS SHOWN	SHEET:	ME	
	REVISION:	INITIAL:	DATE:	SCALE:	DRAWN:	CHECKED:	REVISION:	PO BOX 41090 RPO WOODGROVE NANAIMO, BC PH: 250-240-5009 www.climatelandscaping.ca
	A11	ME	11/04/2022			JH	A11	
	A10	ME	10/04/2022					

DESIGN RATIONALE

CONTEXT

The site lies on the west side of Doctors Road. The existing lot is bare, except for three dead cedars on the roadside of the site. The site has no natural screening, though the south adjacent lot has native cedars, fir, and alders providing some level of separation.

DESIGN CONCEPT

The objective of the landscape design is to create a setting for the McMann Homes town house development. The front of the lot is the focal point of the landscape design, which employs a combination of drought resistant grasses, evergreen shrubs, stone, and colorful deciduous trees. This also acts as a privacy buffer for the planned single residence.

Planting
The planting design and choices compliment the strong contemporary and structural elements of the buildings.

The southern lot hedging [Leylandii] will provide an effective privacy screen between the properties. The shrubs will be evergreen with textured leaves and architectural forms, some light and movement will be provided by planting ornamental grasses.

The stormwater management feature includes a bioswale along the northeast corner of the property. This will collect and slow water movement to the lowest point of the property.

REFERENCE NOTES SCHEDULE

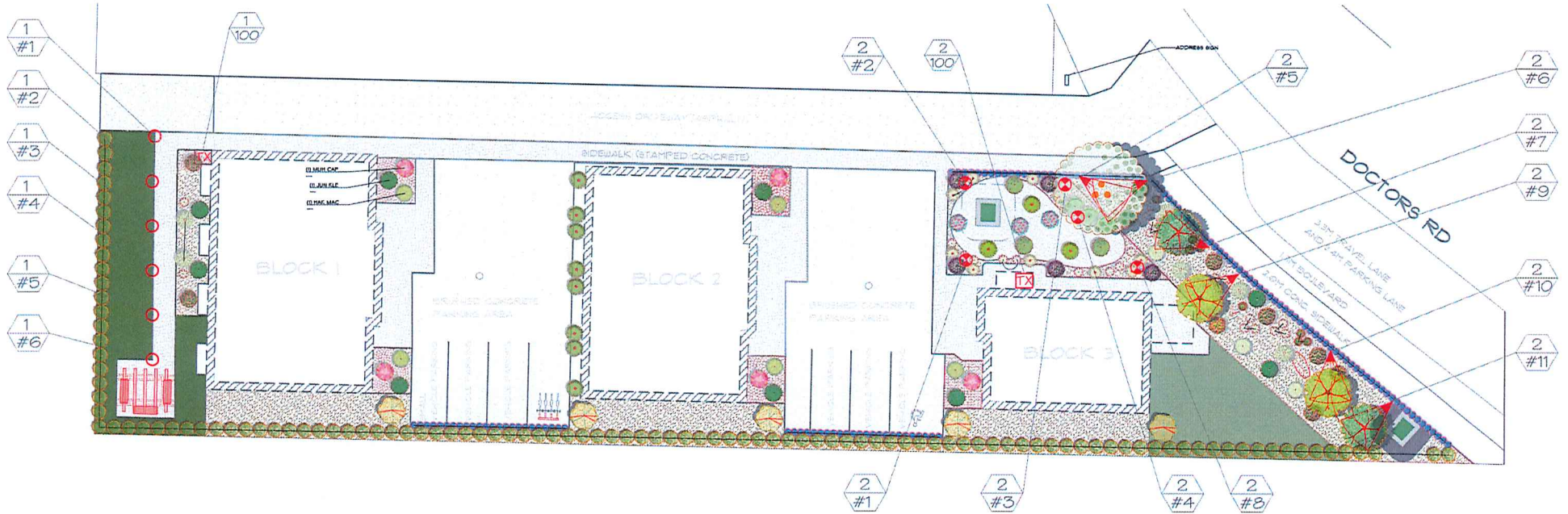
SYMBOL	DESCRIPTION	DETAIL
	Fine Dark Mulch	
	Stamp effect concrete. For pedestrian and light vehicular applications.	
	Asphalt	
	1/2in Blue Chip	
SYMBOL	ROCK DESCRIPTION	DETAIL
	2in to 4in River Rock	

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	DETAIL	REMARKS
	ACE RUB	Acer Rubrum / Red Rocket	---	10		6cm CAL. 1.5m min height
	ACE PAL	Acer palmatum / Japanese Maple	---	2		
	ACE AKN	Acer palmatum 'Akane' / Akane Japanese Maple	---	5		
	PIN THU	Pinus thunbergii / Japanese Black Pine	---	2		
	SAL BAB	Salix babylonica / Weeping Willow	---	1		
	CUP LEY	x Cupressocyparis leylandii / Leyland Cypress	---	110		
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	DETAIL	REMARKS
	CAR HAC	Carex hachijoensis 'Evergold' / Evergold Japanese Sedge	---	10		
	CAT ROS	Catharanthus roseus / Periwinkle	---	23		
	COL XBL	Colocasia x 'Black Ripple' / Black Ripple Elephant Ear	---	3		
	HAK MAC	Hakonochloa macra / Japanese Forest Grass	---	5		
	IRI JAS	Iris ensata / Japanese Water Iris	---	3		
	JUN KLE	Juniperus chinensis 'Klohm Compact' / Chinese Juniper	---	11		
	LAV ANG	Lavandula angustifolia / English Lavender	---	6		
	LAV STO	Lavandula stoechas / Spanish Lavender	---	5		
	LIT DIF	Lithodora diffusa 'Grace Ward' / Grace Ward Lithodora	---	130		
	LOM MME	Lomandra longifolia longifolia / Spiny-headed Mat Rush	---	3		
	MIS JAP	Miscanthus sinensis / Eulalia Grass	---	3		
	MUH CAP	Muhlenbergia capillaris / Pink Muhly Grass	---	5		
	NAS TEN	Nassella tenuissima / Mexican Feather Grass	---	6		
	OPH JAP	Ophiopogon japonicus / Mondo Grass	---	3		
	POA ESK	Poa labillardieri 'Eskdale' / Tussock Grass	---	8		
	PRI JAP	Primula japonica / Japanese Primrose	---	556		
	RHO PER	Rhododendron periclymenoides / Pinxterbloom Azalea	---	2		
	SAL PER	Salvia nemorosa / Meadow Sage	---	8		
SOD/SEED	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	DETAIL	REMARKS
	TUR CAN	Turf Soc Canadian Blue Fescue / Canadian Blue Fescue	---			

PROJECT:	2545 DOCTORS RD, NANAIMO			CLD-1033-PLT-001	003	CLD-1033	MAY 2021	 RECEIVED DP 1238 2022-OCT-05 PO BOX 41090 RPO WOODGROVE NANAIMO, BC PH: 250-240-5009 www.climatelandscaping.ca
TITLE:	LANDSCAPE PLAN - SCHEDULES			DRAWING NO.	SHEET	PROJECT NO.	DATE:	
REVISION:	INITIAL:	DATE:	SCALE:	DRAWN:	CHECKED:	REVISION:		

Development Permit No. DP001238 Schedule G
2545 Doctors Road

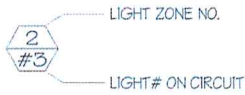
LIGHTING PLAN



CLIENT:
McMANN HOMES

2640 STEVE ELLIS ROAD,
NANAIMO,
BC. V9R 0J7

LANDSCAPE LIGHT TAG DETAIL



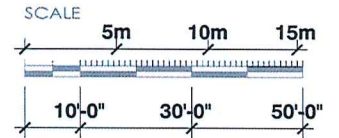
LANDSCAPE LIGHT LEGEND



LANDSCAPE TRANSFORMER TAG DETAIL



LANDSCAPE TRANSFORMER LEGEND



PROJECT:	2545 DOCTORS RD, NANAIMO			CLD-1033-PLT-001	007	CLD-1033	MAY 2021	 RECEIVED DP1238 2022-NOV-04
TITLE:	LANDSCAPE PLAN - LIGHTING PLAN			DRAWING NO.	AS SHOWN	PROJECT NO.	DATE:	
REVISION:	INITIAL:	DATE:	SCALE:	DRAWN:	CHECKED:	REVISION:	DATE:	

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